

Your Ref:
Our Ref: PC:HR MCU25-0002

28 May 2025

Mr George Milford
Milford Planning Pty Ltd
PO Box 5463
TOWNSVILLE QLD 4810

info@milfordplanning.com.au

Dear Sir

Decision Notice
Material Change of Use for Multiple Dwelling (Three Dwelling Units)
46 Mona Road, Halifax (Lot 210 on CP911639)
Planning Act 2016

Receipt of your application deemed to be properly made on Monday 7 April 2025, for Material Change of Use for a Multiple Dwelling (Three Dwelling Units) at 46 Mona Road Halifax, described as Lot 210 on CP911639, is acknowledged and its contents noted.

Your application was assessed by relevant staff and considered under Instrument of Delegation on Monday 26 May 2025.

Council resolved to approve the proposed Development Application for Material Change of Use for a Multiple Dwelling (Three Dwelling Units), subject to conditions as set out in the attached Decision Notice. Please see the enclosed Decision Notice.

This Notice outlines aspects of the development's conditions of approval, currency period, approved plans, referral agency response (if any) and includes extracts from the *Planning Act 2016* with respect to making representations about conditions, negotiated decisions, suspension of the appeal period and lodging an appeal, should you wish to do so.

Should you require any further information or clarification concerning this matter, please contact Council's Planning and Development Team on 4776 4600 for the necessary assistance.

Yours sincerely



Paul Cohen
Development and Regulatory Services Manager

Encl - Decision Notice



25 Lannercost Street
INGHAM QLD 4850



PO Box 366 INGHAM QLD 4850
ABN 46 291 971 168



4776 4600
4776 3233



council@hinchinbrook.qld.gov.au
HinchinbrookShireCouncil

28 May 2025

SECTION 83 OF *PLANNING ACT 2016*

APPLICATION DETAILS

This Referral Agency Response relates to the below Development Application:

Application Number	MCU25-0002
Property ID Number	101811
Applicant Details	Milford Planning Pty Ltd PO Box 5463 TOWNSVILLE QLD 4810
Owner Details	Hinchinbrook Community Support Centre Incorporated 71 Townsville Road INGHAM QLD 4850
Property Description	46 Mona Road, HALIFAX QLD 4850 Lot 210 on CP911639
Proposal	Material Change of Use – Multiple Dwelling (Three Dwelling Units)
Level of Assessment	Code Assessment

DECISION

The information below outlines the specifics of the Application:

Decision	The application was approved subject to conditions.
Decision Date	26 May 2025
Decision Type	Development Permit
Deemed Approval	The Development Permit is not a deemed approval under Section 64 of the <i>Planning Act 2016</i> .
Assessment Instrument	Hinchinbrook Shire Planning Scheme 2017
Submissions	Not Applicable

CONDITIONS OF APPROVAL

The conditions of approval are set out in the Conditions of Approval. The conditions are identified to indicate whether the Assessment Manager or Referral Agency imposed them.

REFERRAL AGENCIES

No referrals apply to the Development Application.

FURTHER APPROVALS REQUIRED

This approval does not authorise any filling of land or building work and a Development Permit for carrying out the above mentioned may require additional assessment.

This approval does not authorise any works within Council's Road Reserve (e.g., new/additional access, repair/modification to existing access or works to footpaths). If this is required as part of your development proposal, an application will need to be lodged with Council or other relevant authority.

INFRASTRUCTURE CHARGES

Infrastructure charges apply to the proposed development in accordance with Council's Adopted Infrastructure Charges Resolution. Attached is Council's Infrastructure Charges Notice.

RIGHTS OF APPEAL

The rights of an applicant to appeal to the Planning and Environment Court against a decision about a Development Application are set out in Chapter 6, Part 1 of the *Planning Act 2016*. There may also be a right to make an application for a declaration by a tribunal (see Chapter 6, Part 2 of the *Planning Act 2016*).

An applicant for a Development Application may appeal to the Planning and Environment Court against the following:

- The refusal of all or part of the Development Application;
- A provision of the Development Approval;
- The decision to give a preliminary approval when a Development Permit was applied for; and
- A deemed refusal of the Development Application.

The timeframes for starting an appeal in the Planning and Environment Court are set out in section 229 of the *Planning Act 2016*.

APPROVAL CURRENCY PERIOD

Pursuant to Section 85 of the *Planning Act 2016*, the Development Approval will lapse six years after the approval starts to have effect, unless otherwise conditioned.

APPROVED PLANS AND SPECIFICATIONS

The development must be carried out in accordance with the approved plans, specifications and/or drawings, along with the requirements of all relevant laws. Any deviation must have prior approval from the Chief Executive Officer.

Copies of the approved plans, specifications and/or drawings are attached.

NOTICE ABOUT DECISION – STATEMENT OF REASONS

This Notice is prepared in accordance with Section 63(5) and section 83(7) of the *Planning Act 2016* to inform the public about a decision that has been made in relation to a Development Application.

The purpose of this Notice is to enable a public understanding of the reasons for the planning decision, specially having regard to:

- The relevant part of the Planning Scheme and Assessment Benchmarks against which the application was assessed; and
- Any other information documents or other material Council was either required to, or able to, consider in its assessment.

All terms used in this Notice have the meaning given to them in the *Planning Act 2016*.

The proposed development is considered to be consistent with the relevant overall outcomes and assessment benchmarks of the *Hinchinbrook Shire Planning Scheme 2017*, in particular:

- The application has been approved as it is considered to meet, or have the ability to meet the requirements of the relevant aspects of the *Hinchinbrook Shire Planning Scheme 2017*; and
- Conditions of Approval have been included to ensure that compliance with the *Hinchinbrook Shire Planning Scheme 2017*.

Should you require any further information or clarification concerning this matter, please contact Council's Planning and Development Team on 4776 4600 for the necessary assistance.

CONDITION		TIMING																														
(1)	<p>Administration</p> <p>The applicant is responsible to ensure the approved development is carried out and complies with the following relevant requirements:</p> <p>(a) The specifications, facts and circumstances as set out in the application submitted to Council, including recommendations and findings confirmed within relevant technical reports;</p> <p>(b) The development must, unless stated, be designed, constructed and maintained in accordance with relevant Council policies, guidelines and standards; and</p> <p>(c) The Conditions of Approval, the requirements of Council’s Planning Scheme and best practice engineering.</p>	At all times.																														
(2)	<p>Approved Plans</p> <p>The development and use of the site is to be generally in accordance with the following plans that are to be the Approved Plans of Development, except as altered by any other Condition of Approval; and</p> <table><tr><th>Plan / Document Name</th><th>Number</th><th>Date</th></tr><tr><td>Proposed Units - Sheet List Hinchinbrook Community Support 46 Mona Road, Halifax</td><td>Job No. 2024-030-R Dwg No. DD 01 Rev 4</td><td>22.01.25</td></tr><tr><td>Site Plan</td><td>Job No. 2024-030-R Dwg No. DD 02 Rev 4</td><td>22.01.25</td></tr><tr><td>Cover Page</td><td>Job No. 2024-030-R Dwg No. DD 01 Rev 4</td><td>21.01.25</td></tr><tr><td>Floor Plan – Unit</td><td>Job No. 2024-030-R Dwg No. DD 03 Rev 4</td><td>21.01.25</td></tr><tr><td>Elevations – Unit</td><td>Job No. 2024-030-R Dwg No. DD 04 Rev 4</td><td>21.01.25</td></tr><tr><td>Elevations – Unit</td><td>Job No. 2024-030-R Dwg No. DD 05 Rev 4</td><td>21.01.25</td></tr><tr><td>Perspective View – Unit</td><td>Job No. 2024-030-R Dwg No. DD 06 Rev 4</td><td>21.01.25</td></tr><tr><td>Cover Page</td><td>Job No. 2024-030-R Dwg No. DD 01 Rev 4</td><td>22.01.25</td></tr><tr><td>Floor Plan – Duplex</td><td>Job No. 2024-030-R Dwg No. DD 07 Rev 4</td><td>22.01.25</td></tr></table>	Plan / Document Name	Number	Date	Proposed Units - Sheet List Hinchinbrook Community Support 46 Mona Road, Halifax	Job No. 2024-030-R Dwg No. DD 01 Rev 4	22.01.25	Site Plan	Job No. 2024-030-R Dwg No. DD 02 Rev 4	22.01.25	Cover Page	Job No. 2024-030-R Dwg No. DD 01 Rev 4	21.01.25	Floor Plan – Unit	Job No. 2024-030-R Dwg No. DD 03 Rev 4	21.01.25	Elevations – Unit	Job No. 2024-030-R Dwg No. DD 04 Rev 4	21.01.25	Elevations – Unit	Job No. 2024-030-R Dwg No. DD 05 Rev 4	21.01.25	Perspective View – Unit	Job No. 2024-030-R Dwg No. DD 06 Rev 4	21.01.25	Cover Page	Job No. 2024-030-R Dwg No. DD 01 Rev 4	22.01.25	Floor Plan – Duplex	Job No. 2024-030-R Dwg No. DD 07 Rev 4	22.01.25	At all times.
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	Elevations – Duplex	Job No. 2024-030-R Dwg No. DD 09 Rev 4	22.01.25	
	Perspective View – Duplex	Job No. 2024-030-R Dwg No. DD 10 Rev 4	22.01.25	
(d) Where there is any conflict between the conditions of this approval and the details shown on the approved plan and documents, the Conditions of Approval prevail.				
(3) Maintain the Approved Development a. Maintain the approved development generally in accordance with the approved plan(s) and document(s), and any relevant approval required by these conditions of approval.				At all times.
(4) Damage to Infrastructure and Land Where any part of Council's existing infrastructure or land is damaged as a result of construction activities occurring on the land, including but not limited to; mobilisation of heavy construction equipment, stripping, grubbing and vegetation damage, notify Council immediately of the affected infrastructure or land and have it repaired, replaced or reinstated at no cost to Council.				At all times.
(5) Water Supply and Sewerage The development must be connected to Council's reticulated water supply network and must include the installation of an appropriately designed on-site sewerage treatment and disposal system to service the proposed Equivalent Tenement Units (ETUs). All works must be carried out in accordance with the <i>Plumbing and Drainage Act 2018</i> , relevant codes and standards, and at no cost to Council.				Prior to Commencement of Use.
(6) Waste Screening Loading areas, waste and recyclable material storage and other service areas must be screened from street view.				Prior to Commencement of Use.
(7) Construction Management Plan A Construction Management Plan must be prepared and submitted to Council. The Construction Management Plan must address all activities/operations associated with the construction including: a. Hours of construction; b. Location(s) of construction access;				Prior to Commencement of Work.

CONDITION	TIMING
<ul style="list-style-type: none"> c. Parking of vehicles (including construction site employees and delivery vehicles); d. Traffic management and control (including loading and unloading); e. On-site dust and noise management, so as to not cause a nuisance to the amenity of the surrounding area; f. Tree protection management; g. Site safety and security after hours to prevent public entry; and h. Location and details of construction signage including any signage that is to be illuminated. <p>The Construction Management Plan must be provided to Council and made available to all onsite workers at all times. The Construction Management Plan must be implemented at all times for the duration of approved work.</p>	
<p>(8) Approved Hours of Work</p> <p>Work involving the operation of construction plant and equipment of any description, must only be carried out on site during the following times:</p> <ul style="list-style-type: none"> a. 7:00am to 6:00pm, Monday to Friday; b. 7:00am to 1:00pm Saturdays; and c. No work is permitted on Sundays or Public Holidays. <p>Any variations to the above working hours must be authorised by Council prior to the commencement of such work.</p>	As stated.
<p>(9) Transportation of Materials</p> <p>Transportation of fill or spoil to and from the land must not occur:</p> <ul style="list-style-type: none"> a. Before 7:00am or after 6:00pm Monday to Friday; b. Before 7:00am or after 1:00pm Saturday; or c. On Sunday or a Public Holiday. 	As stated.
<p>(10) Stockpiling of Material</p> <p>Soil used for filling or spoil from the excavation is not to be stockpiled in locations that can be viewed from adjoining premises or a road frontage for any longer than one (1) month from the commencement of work on the land.</p>	As stated.
<p>(11) Construction Dust and Air Pollutants</p> <p>Dust emissions or other air pollutants, including odours, must not extend beyond the boundary of the land and must not cause a nuisance to surrounding properties in accordance with the requirements of the <i>Environmental Protection Act 1994</i> (Qld).</p>	At all times.

CONDITION	TIMING
<p>(12) Concrete Slurry</p> <p>Ensure that all concrete slurry is removed from the pathway, roadway, stormwater drains and kerb and channel upon completion of the work.</p>	<p>Prior to Commencement of Use</p>
<p>(13) Site Based Stormwater Management Plan</p> <p>Provide a Site Based Stormwater Management Plan (SBSMP) and associated amended design which details a stormwater point of discharge.</p> <p>This document is required to report on the stormwater quantity and quality management required for the land, and must focus on, but not be limited to, the following:</p> <ol style="list-style-type: none"> Nominate best practice site management procedures to control the severity and extent of soil erosion and pollutant transport and other water quality issues that may arise during the construction phase and post-construction phase; and Nominate requirements for ongoing post- construction management (inclusive of responsibility) of any drainage channel located along the rear boundary of the land. <p>All works must be carried out in accordance with the approved plan(s).</p>	<p>Prior to Commencement of Work.</p>
<p>(14) Drainage Design</p> <p>Design a stormwater drainage system (internal and external to the land) to satisfactorily drain the subject land such that the upstream drainage is not adversely affected and that the downstream drainage system is capable of adequately catering for the discharge of the modified flow produced as a result of the development.</p> <p>Detailed design drawings of all stormwater infrastructure required as a result of the development are to be provided to Council for endorsement.</p> <p>Once approved, all work must be carried out in accordance with the approved plan(s).</p>	<p>Prior to the issue of a Development Permit for Building Works</p>
<p>(15) Concentration of Stormwater</p> <p>Stormwater discharge must have a no worsening effect or ponding nuisances on downstream or upstream properties, associated with the following:</p> <ol style="list-style-type: none"> Diversion of stormwater; Concentration of stormwater flows; Changes in other flow characteristics; and Changes that affect the future use of land. <p>If a disparity exists between pre and post alteration flows, measures are to be implemented in order to have a no worsening effect.</p>	<p>At all times.</p>

CONDITION	TIMING
<p>(16) Lawful Point of Discharge</p> <p>All stormwater from the land must be directed to a lawful point of discharge as per the approved plan(s) such that it does not adversely affect surrounding properties or properties downstream from the development, in accordance with the Queensland Urban Drainage Manual.</p>	At all times.
<p>(17) Existing Kerb and Channel</p> <p>The existing kerb and channel to the frontage of the subject site must be repaired where any sections show ponding or significant cracking.</p>	Prior to Commencement of Use.
<p>(18) Car Parking Requirements</p> <p>The amount of car parking must be as per the approved plan(s), being three (3) spaces.</p> <p>The car parking layout must comply with the AS 2890.1:2004 Parking facilities – Off-street car parking and be constructed in accordance with Austroads and good engineering design.</p> <p>In addition, all parking, driveway and vehicular manoeuvring areas must be imperviously sealed, drained and line marked.</p>	Prior to Commencement of Use.
<p>(19) Crossover and Driveway</p> <p>The access, driveway and turnout must be constructed in accordance with:</p> <ol style="list-style-type: none"> HSC Standard Drawing A001 – Residential and Commercial Invert Accesses; HSC Standard Drawing A003 – Driveway Gradient Profile Beam Application Details; and HSC Standard Drawing A006 - Typical Residential Single and Double Sealed Access Details. <p>Details of the above works must be identified on a plan prepared by an RPEQ and submitted as part of an application for Private Works on Road Reserves pursuant to Hinchinbrook Shire Subordinate Local Law No. 1.15 (Carrying Out Works on a Road or Interfering with a Road or its Operation) 2012.</p>	Prior to Commencement of Use.
<p>(20) Ramping</p> <p>Any ramping to meet with floor/garage levels must occur in such a way that it does not interfere with the existing footpath on Acacia Road, and meet the gradient for safe pedestrian with a maximum crossfall of 5% and meet the design requirements of AS1428 Design for access and mobility – General requirements for access.</p>	Prior to Commencement of Use.
<p>(21) External Lighting</p> <p>External lighting within the development site must be installed in accordance with AS/NZS 4282:2019 – Control of the obtrusive effects of outdoor lighting. The installation of external lighting must be certified by a suitably qualified person in accordance with the Australian Standard.</p>	Prior to Commencement of Use..

CONDITION	TIMING
<p>(22) Boundary Fencing</p> <p>A screen fence must be erected along the common boundary of the development and the adjoining residential premises at 44 Mona Road and 17 Mambrini Street, Halifax formally described as Lot 7 on RP709928 and Lot 11 on H28414 respectively.</p> <p>Should any part of the fence and retaining wall exceed 2m and be necessary to maintain privacy, amenity or manage an aspect of the development which cannot be avoided, details of the proposed design solution must be provided to Council for assessment and acceptance prior to its construction.</p>	<p>Prior to Commencement of Use.</p>
<p>(23) Street Fencing</p> <p>Any proposed fences and/or walls to the street frontage are to be limited to the location and heights indicated on the approved plans of development.</p> <p>Any alteration to the detail from that which is shown in the approved drawings must be submitted to and approved by Council prior to its construction.</p>	<p>Prior to Commencement of Use.</p>
<p>(24) Minimum Fill and Floor Levels</p> <p>All finished floor levels of all habitable areas must be a minimum of 300mm above the defined inundation event, in accordance with the requirements of the Hinchinbrook Shire Planning Scheme 2017.</p>	<p>Prior to Commencement of Use.</p>
<p>(25) Flood Hazard Management in Development</p> <p>Any components of the development that are likely to fail to function or may result in contamination when inundated (e.g. electrical switch gear and motors, water supply pipeline air valves) are:</p> <ol style="list-style-type: none"> Located above the defined inundation event; or Designed and constructed to tolerate inundation from the defined flood event. 	<p>At all times.</p>
<p>(26) Landscaping</p> <p>The landscaping must be installed in accordance with the approved plan(s) and the conditions stated in this Approval.</p> <p>Ensure all plants, materials, hardscape and watering systems identified on the approved plan(s) are installed in a manner consistent with AS 2303:2018 Tree stock for landscape use and AS 4419:2003 Soils for landscaping and garden use and maintained at all times.</p>	<p>Prior to Commencement of Use.</p>
<p>(27) Landscaping Works</p> <p>Landscaping associated with the approved development must be inspected by Council at the time of landscaping completion.</p> <p>At all times, the property owner is responsible for the maintenance of the landscaping associated with the subject site and development.</p>	<p>Prior to Commencement of Use and at all times.</p>

CONDITION	TIMING
<p>(28) Earthworks Construction</p> <p>All earthworks must be constructed in accordance with AS 3798: Guidelines on earthworks for commercial and residential developments. At the completion of works, RPEQ Certification of the works and test results are required to be provided to Council.</p> <p>Within 20 business days of the completion of the work, provide RPEQ certification to Council that confirms that all earthworks have been constructed in accordance with the certified drawings.</p>	<p>Prior to Works Acceptance.</p> <p>As stated.</p>
<p>(29) Contaminated Fill</p> <p>All fill material must not include the use of contaminated material.</p>	<p>At all times.</p>
<p>(30) Retaining Wall Drainage Protection</p> <p>Retaining walls must include adequate drainage behind the top of the wall to ensure surface stormwater flows do not flow over the top of the wall but are contained in a designed system to pass the wall and include appropriate scour protection to the base of the wall.</p>	<p>At all times.</p>
<p>(31) Air-Conditioning, Plant and Machinery Screens</p> <p>Air-Conditioning, Plant and Machinery units located above ground level and visible from external properties or the street at the frontage of the land must be screened from view with appropriate materials or landscaping.</p>	<p>Prior to Commencement of Use.</p>



PROPOSED UNITS HINCHINBROOK COMMUNITY SUPPORT 46 MONA ROAD, HALIFAX

GENERAL:

1. IF IN DOUBT, JUST ASK.
2. USE FIGURED DIMENSIONS. **DO NOT SCALE FROM DRAWINGS.**
3. CONFIRM ALL RELEVANT DIMENSIONS, LEVELS AND DETAILS ON SITE PRIOR TO COMMENCEMENT OF ALL WORK. CONFIRM SETBACKS TO ALL ALIGNMENTS.
4. THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ENGINEERING AND OTHER CONSULTANT'S DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES SHALL BE REFERRED TO THE BUILDING DESIGNER FOR DISCUSSION BEFORE PROCEEDING WITH THE WORK.
5. DESIGN AND CONSTRUCTION TO COMPLY WITH CURRENT STANDARD BUILDING BY-LAWS, BUILDING ACT, BUILDING AMENDMENT ACT, BUILDING AND OTHER LEGISLATION AMENDMENT ACT, QUEENSLAND DEVELOPMENT CODE, BUILDING CODE OF AUSTRALIA, CURRENT AUSTRALIAN STANDARDS, STATUTORY REQUIREMENTS, ORDINANCES, LOCAL GOVERNMENT REQUIREMENTS, RELEVANT BUILDING AUTHORITIES AND ALL CONTRACT DOCUMENTATION.
6. CARRY OUT ALL WORK IN A SAFE MANNER IN ACCORDANCE WITH APPLICABLE STATUTORY REGULATIONS, BY-LAWS OR RULES. COMPLY WITH RELEVANT STATE OCCUPATIONAL HEALTH AND SAFETY ACTS INCLUDING ASSOCIATED REGULATIONS AND CODES OF PRACTISE. CONTRACTOR IS RESPONSIBLE FOR OCCUPATIONAL HEALTH AND SAFETY OF SITE PERSONNEL AND GENERAL PUBLIC IN ACCORDANCE WITH LEGISLATIVE REQUIREMENTS, INDUSTRIAL AGREEMENTS AND ACCEPTED INDUSTRY PRACTISE.
7. TIMBER CONSTRUCTION TO COMPLY WITH AS1720. DOMESTIC TIMBER CONSTRUCTION IN NON-CYCLONIC LOCATIONS SHALL BE IN ACCORDANCE WITH AS1684.
8. ALL BRICKWORK AND BLOCKWORK SHALL BE IN ACCORDANCE WITH AS3700.
9. ALL PROPRIETARY PRODUCTS AND SYSTEMS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATION AND INSTRUCTIONS.
10. GARAGE DOORS TO COMPLY WITH THE ABCB HOUSING PROVISION PART 2.2 - GARAGE DOORS AND OTHER LARGE ACCESS DOORS IN OPENINGS NOT MORE THAN 3M IN HEIGHT IN EXTERNAL WALLS OF BUILDINGS DETERMINED AS BEING LOCATED IN WIND REGION C OR D IN ACCORDANCE WITH FIGURE 2.2.3 : AS/NZS 4505.
11. WHEN BUILDING IN A CORROSIVE ENVIRONMENT, CORROSION PROTECTION IS TO COMPLY WITH SECTION 6.3.9 OF THE ABCB HOUSING PROVISIONS.
12. THESE DRAWINGS ARE THE COPYRIGHT OF THE DESIGN HOUSE NQ AND MAY NOT BE USED, RETAINED OR REPRODUCED WITHOUT WRITTEN AUTHORITY.
13. THESE DRAWINGS ARE FOR THE PURPOSE OF GAINING A BUILDING APPROVAL ONLY.

CLASS 1 & 2 BUILDINGS OR ASSESSABLE AND SELF-ASSESSABLE RENOVATIONS

LIGHTING - ENERGY EFFICIENT LIGHTING - WHICH IS A GLOBE WITH A MINIMUM OUTPUT OF 30 LUMENS/WATT INSTALLED TO A MINIMUM OF 80% OF THE TOTAL FIXED INTERNAL LIGHTING. EXCLUDING LAMPS RADIATING HEAT IN BATHROOMS.

NEW AND REPLACEMENT AIR-CONDITIONING TO HAVE ENERGY EFFICIENCY RATING TO MINIMUM 2.9

IN AREAS SERVICED BY A WATER SERVICE PROVIDER:-

- * **SHOWER ROSES IN A AREA WITH A RETICULATED WATER SERVICE MUST BE MIN 3 STAR WELS RATED.**
- * **ALL TOILET CISTERNS MUST HAVE A DUAL FLUSH FUNCTION AND HAVE A MIN. OF 4 STAR WELS RATING WHICH MUST BE COMPATABLE WITH THE SIZE OF THE TOILET BOWL.**
- * **ALL TAPS SERVING LAUNDRY TUBS, KITCHEN SINKS AND BATHROOM BASINS MUST HAVE A 3 STAR WELS RATING.**

(WELS - WATER EFFICIENCY LABELLING AND STANDARDS)

(QDC - QUEENSLAND DEVELOPMENT CODE)

(MP - MANDATORY PART)

SUSTAINABLE BUILDING REQUIREMENTS @ 1 MARCH 2009 - CLASS 1 BUILDINGS

NEW WORK - HOT WATER SYSTEMS MUST BE SUPPLIED BY A:-

- SOLAR HOT WATER SYSTEM, OR HEAT PUMP HOT WATER SYSTEM OR GAS HOT WATER SYSTEM.

TANKS IF REQUIRED BY LOCAL AUTHORITY:

- 5000LTR FOR DETACHED CLASS 1, 3000LTR FOR OTHER THAN CLASS 1 DETACHED AS PER QDC MP 4.2 WATER SAVINGS TARGETS:-
- TO RECEIVE A MINIMUM ROOF AREA AT LEAST 100SQM OR ONE HALF OF THE TOTAL ROOF AREA WHICHEVER IS THE LESSER.
- BE CONNECTED TO TOILET CISTERNS, WASHING MACHINE COLD WATER TAPS (OTHER THAN GREY WATER CONNS.) AND EXTERNAL USE TAPS, REFER QDC MP 4.2 FOR VARIATIONS. PLUMBER TO REFER TO QDC MP 4.2 FOR COMPLETE TANK REQUIREMENTS

SHEET LIST

Sheet Number	Sheet Name	Current Revision	Current Revision Description	Current Revision Date
01	COVER PAGE	4	Client Changes	01.04.25
01	COVER PAGE	4	Client Changes	01.04.25
01	COVER PAGE	4	Client Changes	01.04.25
02	SITE PLAN	4	Client Changes	01.04.25
03	FLOOR PLAN - UNIT	4	Client Changes	01.04.25
04	ELEVATIONS - UNIT	4	Client Changes	01.04.25
05	ELEVATIONS - UNIT	4	Client Changes	01.04.25
06	PERSPECTIVE VIEW - UNIT	4	Client Changes	01.04.25
07	FLOOR PLAN - DUPLEX	4	Client Changes	01.04.25
08	ELEVATIONS - DUPLEX	4	Client Changes	01.04.25
09	ELEVATIONS - DUPLEX	4	Client Changes	01.04.25
10	PERSPECTIVE VIEW - DUPLEX	4	Client Changes	01.04.25

The
Design
House[®]

THE DESIGN HOUSE NQ
m: 0423 623 647
a: 11 Cashell Crescent, Bushland Beach, QLD 4818
e: nathan@thedesigthouseeq.com.au
w: www.thedesigthouseeq.com.au

© COPYRIGHT
QBCC LICENCE NO. 15046263
BUILDING DESIGN MEDIUM RISE

NOTE:
1. ALL LEVELS AND DIMENSIONS ARE TO BE CHECKED AND CONFIRMED PRIOR TO START OF ANY FABRICATION OR BUILDING WORK.
2. PLANS NOT TO BE SCALED, ALL FIGURED DIMENSIONS TO TAKE PRECEDENCE.
3. COMPLY WITH LOCAL AUTHORITY, STANDARD BUILDING LAW & ALL RELEVANT AUSTRALIAN STANDARDS & LEGISLATION.
4. THIS DRAWING IS ONLY INTENDED TO OBTAIN A LOCAL AUTHORITY BUILDING PERMIT

Project: PROPOSED UNITS

Client: HINCHINBROOK COMMUNITY
SUPPORT

Location: 46 MONA ROAD, HALIFAX

Title: COVER PAGE

Date: 22.01.25

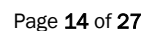
Drawn: N.H

Scale: 1:1

Designed: N.H

Job No:
2024-030-R

Drawing No: DD 01
Rev. 4



PROPOSED UNIT HINCHINBROOK COMMUNITY SUPPORT 46 MONA ROAD, HALIFAX

GENERAL:

- IF IN DOUBT, JUST ASK.
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**(WELS - WATER EFFICIENCY LABELLING AND STANDARDS)
(QDC - QUEENSLAND DEVELOPMENT CODE)
(MP - MANDATORY PART)**

**SUSTAINABLE BUILDING REQUIREMENTS @ 1 MARCH 2009
CLASS 1 BUILDINGS**

**NEW WORK - HOT WATER SYSTEMS MUST BE SUPPLIED BY A:-
- SOLAR HOT WATER SYSTEM, OR HEAT PUMP HOT WATER SYSTEM OR GAS HOT WATER SYSTEM.**

TANKS IF REQUIRED BY LOCAL AUTHORITY:

- 5000LTR FOR DETACHED CLASS 1, 3000LTR FOR OTHER THAN CLASS 1 DETACHED AS PER QDC MP 4.2 WATER SAVINGS TARGETS:-
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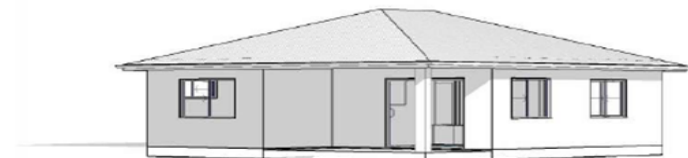
PLUMBER TO REFER TO QDC MP 4.2 FOR COMPLETE TANK REQUIREMENTS

SHEET LIST

Sheet No.	Sheet Name	Project Issue Date	Project Revision	Current Revision	Revision Date	Current Revision Description
01	COVER PAGE	21.01.25	4	4	01.04.25	Client Changes
03	FLOOR PLAN - UNIT	21.01.25	4	4	01.04.25	Client Changes
04	ELEVATIONS - UNIT	21.01.25	4	4	01.04.25	Client Changes
05	ELEVATIONS - UNIT	21.01.25	4	4	01.04.25	Client Changes
06	PERSPECTIVE VIEW - UNIT	21.01.25	4	4	01.04.25	Client Changes

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THE DESIGN HOUSE NQ
m: 0423 623 647
a: 11 Cashell Crescent, Bushland Beach, QLD 4816
e: nathan@thedesigthouseeq.com.au
w: www.thedesigthouseeq.com.au

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Project: PROPOSED UNIT
Client: HINCHINBROOK COMMUNITY
SUPPORT
Location: 46 MONA ROAD, HALIFAX

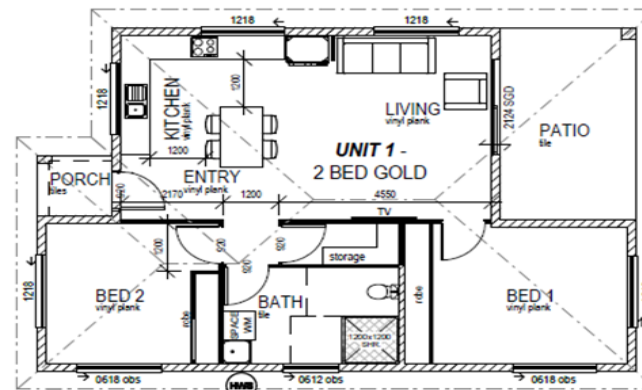
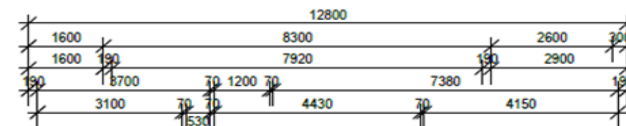
Title: COVER PAGE

Date: 21.01.25 Drawn: N.H
Scale: 1:1 Designed: N.H

Job No:
2024-0030-R
Drawing No: DD 01
Rev. 4

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FLOOR SCHEDULE	
Description	Area
U2 - LIVING	88.58 m ²
U2 - PATIO	13.98 m ²
U2 - PORCH	2.40 m ²
	104.96 m ²

WINDOW AND SGD SCHEDULE			
Description	Height	Width	Qty.
2134 SGD	2100	2400	1
1218	1200	1800	5
0618 obs	600	1800	2
0612 obs	600	1200	1



1 FLOOR PLAN
1 : 100

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m: 0423 623 647
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Project: PROPOSED UNIT
Client: HINCHINBROOK COMMUNITY SUPPORT
Location: 46 MONA ROAD, HALIFAX

REV	ISSUE	DATE	DESCRIPTION
4	01.04.25	Client Change	Client Change
3	20.03.25	Amend Windows	Amend Windows
2	03.03.25	Amend Floorplan	Amend Floorplan
1	21.01.25	Preliminary Issue	Preliminary Issue

Title: FLOOR PLAN - UNIT

Date: 21.01.25

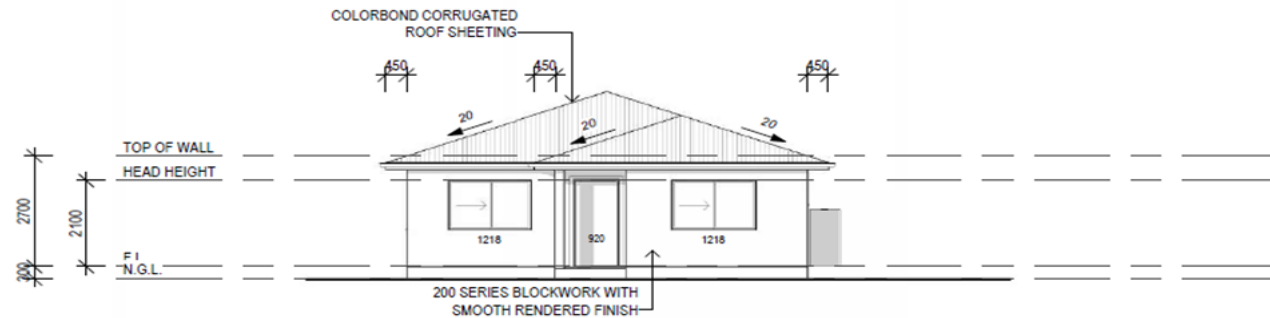
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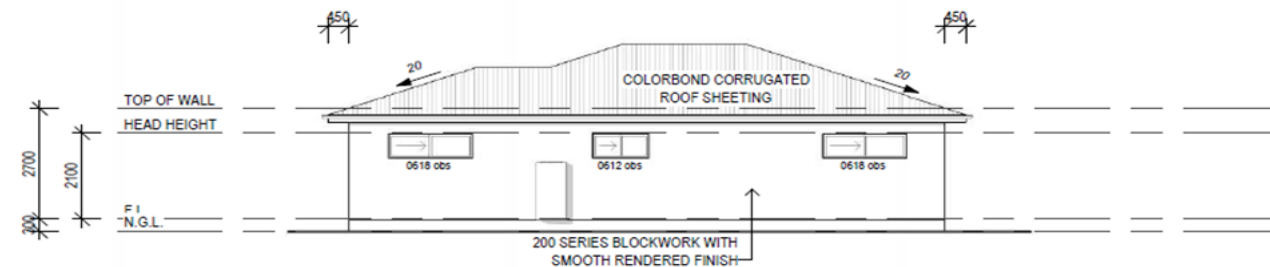
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Job No: 2024-0030-R

Drawing No: Rev.
DD 03 4



1 FRONT ELEVATION
1 : 100



2 RIGHT ELEVATION
1 : 100

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REV	ISSUE	DATE	DESCRIPTION
4	01.04.25	Client Changes	
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1	21.01.25	Preliminary Issue	

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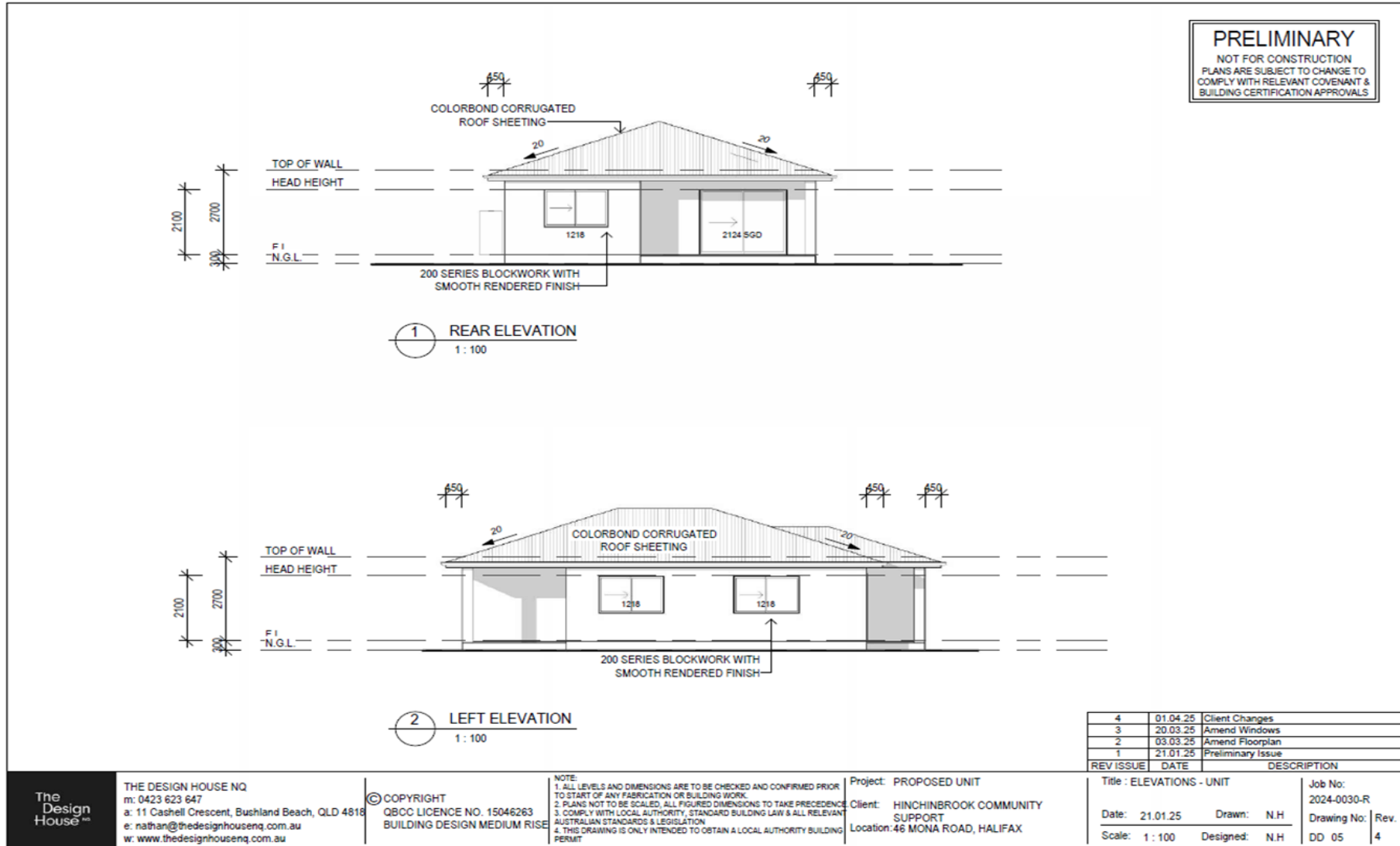
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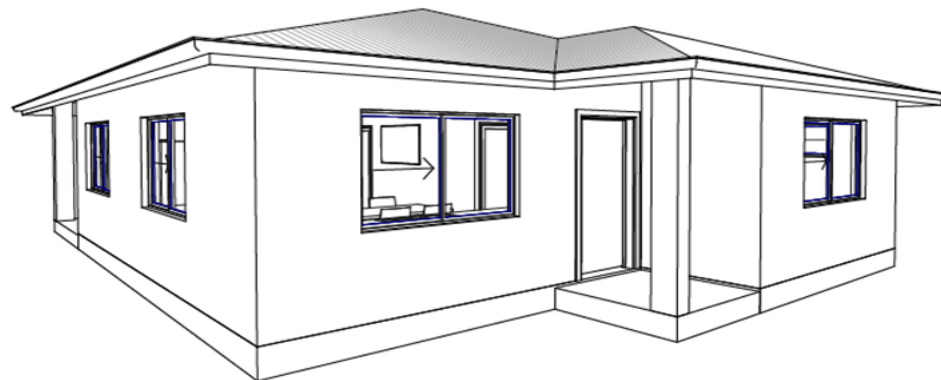
Title: ELEVATIONS - UNIT

Date: 21.01.25 Drawn: N.H.
Scale: 1 : 100 Designed: N.H.

Job No:
2024-0030-R
Drawing No: Rev.
DD 04 4



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1 PERSPECTIVE

REV	ISSUE	DATE	DESCRIPTION
4	01.04.25	Client Changes	
3	20.03.25	Amend Windows	
2	03.03.25	Amend Floorplan	
1	21.01.25	Preliminary Issue	

Title : PERSPECTIVE VIEW - UNIT		Job No:
Date: 21.01.25	Drawn: N.H	2024-0030-R
Scale:	Designed: N.H	Drawing No: Rev.
		DD 06 4

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Project: PROPOSED UNIT
Client: HINCHINBROOK COMMUNITY
SUPPORT
Location: 46 MONA ROAD, HALIFAX

PROPOSED DUPLEX HINCHINBROOK COMMUNITY SUPPORT 46 MONA ROAD, HALIFAX

GENERAL:

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07	FLOOR PLAN - DUPLEX	22.01.25	4	4	01.04.25	Client Changes
08	ELEVATIONS - DUPLEX	22.01.25	4	4	01.04.25	Client Changes
09	ELEVATIONS - DUPLEX	22.01.25	4	4	01.04.25	Client Changes
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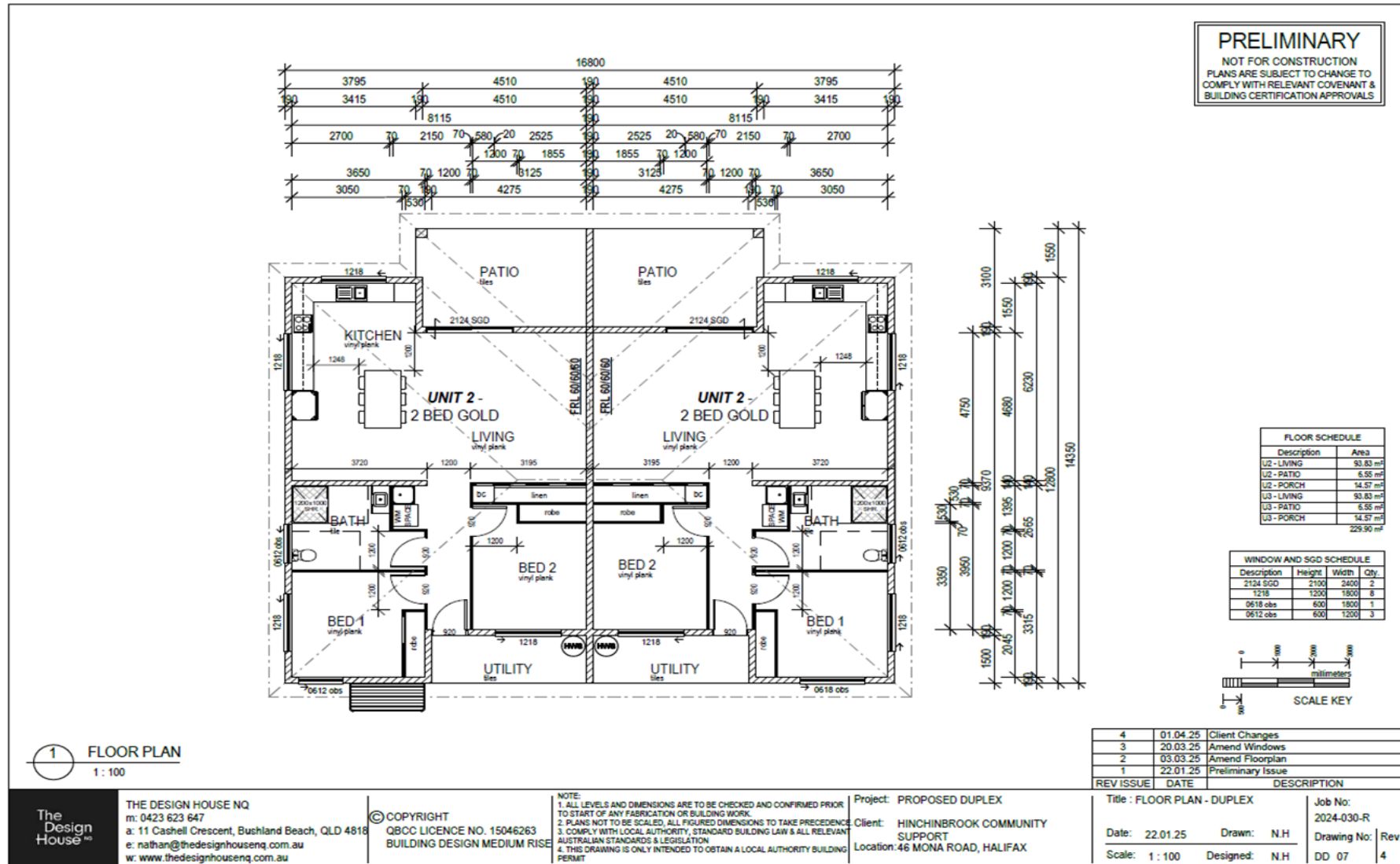
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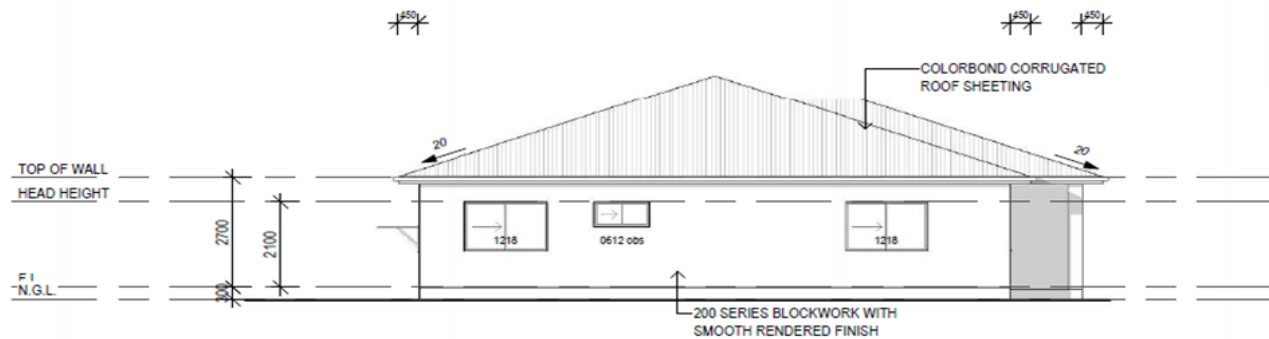
Project: PROPOSED DUPLEX
Client: HINCHINBROOK COMMUNITY
SUPPORT
Location: 46 MONA ROAD, HALIFAX

Title: COVER PAGE

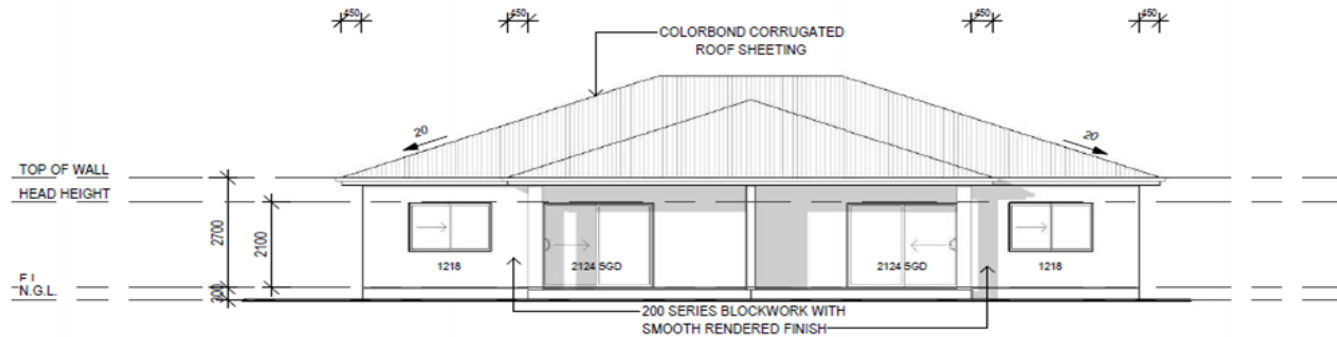
Date: 22.01.25 Drawn: N.H.
Scale: 1:1 Designed: N.H.

Job No:
2024-030-R
Drawing No:
DD 01
Rev:
4





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1 FRONT ELEVATION
1:100

2 RIGHT ELEVATION
1:100

REV	ISSUE	DATE	DESCRIPTION
4	01.04.25	Client Changes	
3	20.03.25	Amend Windows	
2	03.03.25	Amend Floorplan	
1	22.01.25	Preliminary Issue	

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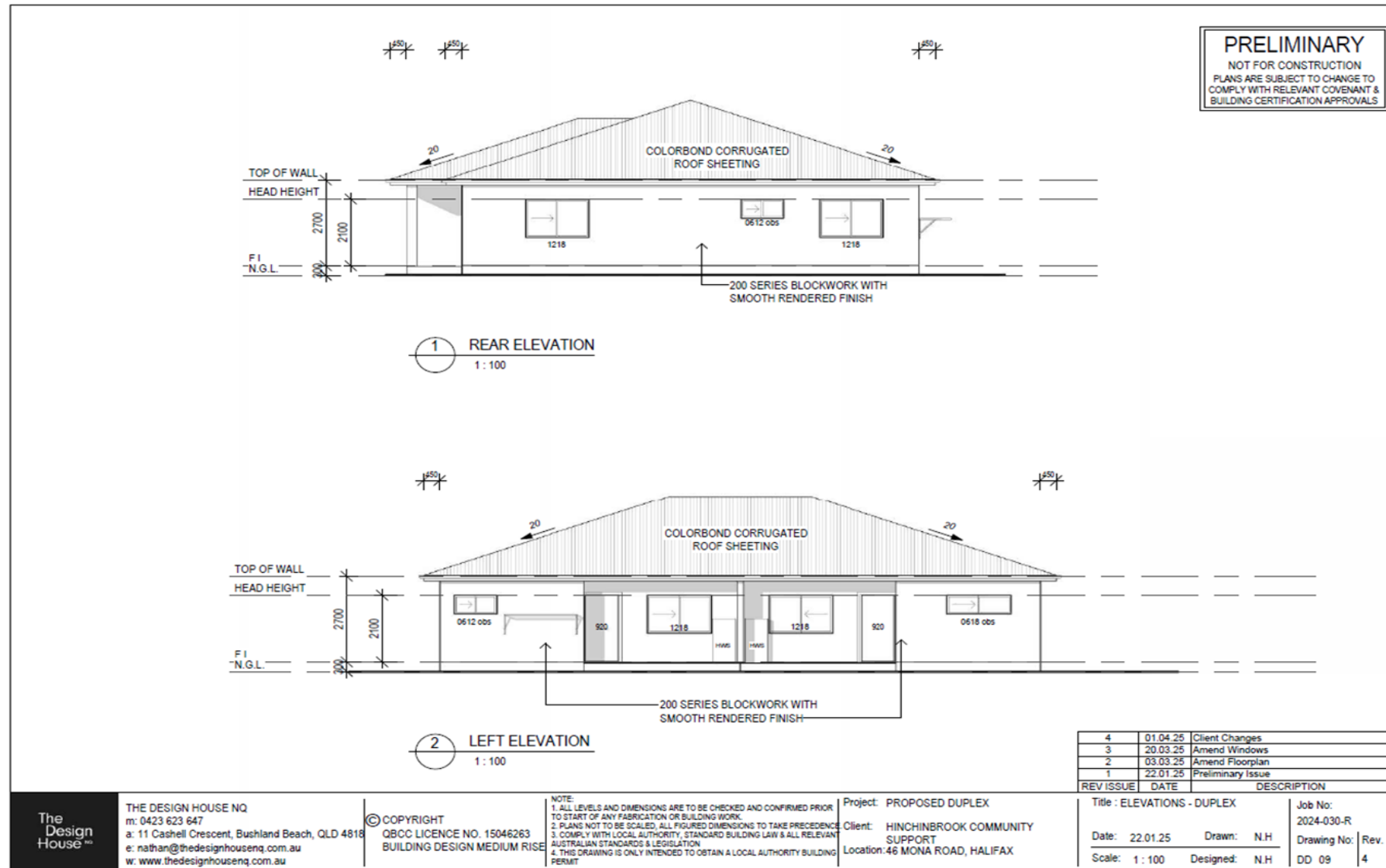
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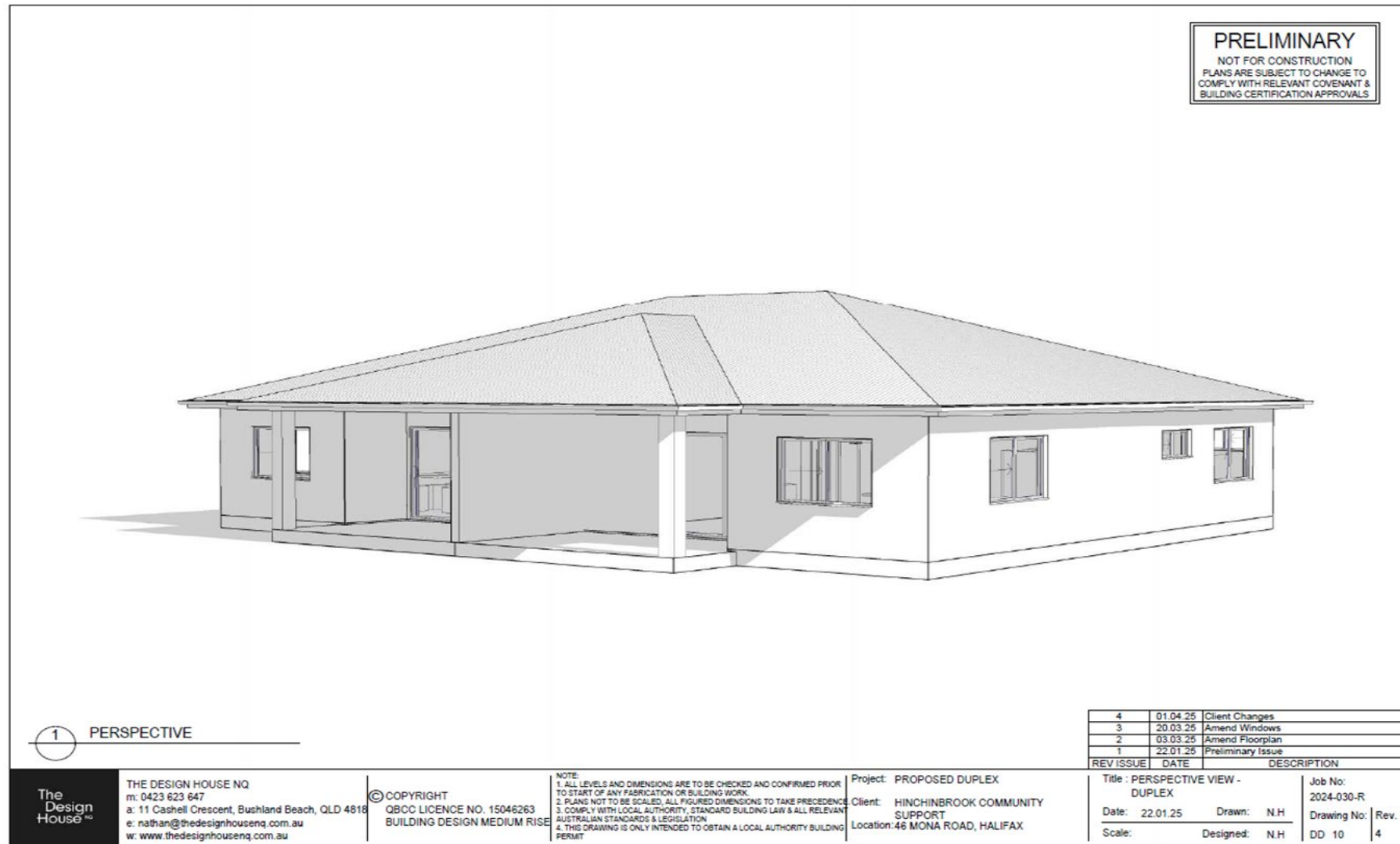
Project: PROPOSED DUPLEX
Client: HINCHINBROOK COMMUNITY
SUPPORT
Location: 46 MONA ROAD, HALIFAX

Title: ELEVATIONS - DUPLEX
Date: 22.01.25
Scale: 1:100

Drawn: N.H.
Designed: N.H.

Job No:
2024-030-R
Drawing No: DD 08
Rev. 4





28 May 2025

SECTION 119 OF *PLANNING ACT 2016*

APPLICATION DETAILS This Decision Notice relates to the below Development Application:	
Application Number	MCU25-0002
Property ID Number	101811
Applicant Details	Milford Planning Pty Ltd PO Box 5463 TOWNSVILLE CITY QLD 4810
Owner Details	Hinchinbrook Community Support Centre Incorporated 71 Townsville Road INGHAM QLD 4816
Property Description	46 Mona Road, Halifax Lot 210 on CP911639
Proposal	Material Change of Use – Multiple Dwelling (Three Dwelling Units)
Level of Assessment	Code Assessment

APPLICABLE INFRASTRUCTURE CHARGE The applicable infrastructure charge has been calculated in accordance with Hinchinbrook Shire Council's <i>Adopted Infrastructure Charges Resolution CR1-2018</i> , and makes allowances for any imposed waiver or dispensation issued by the relevant authority:	
LEVIED CHARGE	\$7,200 + annual adjustments and/or reviews

PAYMENT DETAILS

The adopted infrastructure charge must be made to Hinchinbrook Shire Council prior to the commencement of use and/or local government endorsement of a survey plan.

Payment can be made in person at Council's main office, 25 Lannercost Street, Ingham, or via post PO Box 366, INGHAM QLD 4850.

ADJUSTMENTS TO THE CHARGE

The amount of the levied charge will be recalculated at time of payment using the adopted infrastructure charges stated in the resolution in use at that time.

GOODS AND SERVICES TAX (GST)

The federal government has determined that rates and utility charges levied by local government will be GST free. Accordingly, no GST is included in this Infrastructure Charges Notice.

FAILURE TO PAY

An infrastructure charge levied by a local government is, for the purposes of recovery, taken to be a rate within the meaning of the *Local Government Act 2009*. Compound annual interest at 10% calculated daily is to be applied to an overdue charge.

APPEAL RIGHTS

You may appeal against any matter stated in the adopted infrastructure charges notice.

Under the provisions of the *Planning Act 2016*, the Applicant may –

- i. Make representation to Council to discuss the adopted infrastructure charges notice by contacting Council's Chief Executive Officer. You must make these representations within twenty (20) business days after the day you receive this notice. If Council alters the decision, you will be given a 'negotiated adopted infrastructure charges notice'; or
- ii. Appeal to the Planning and Environment Court or Development Tribunal.

Chapter 6, Part 1 and Part 2 of the *Planning Act 2016* detail appeal rights afforded to the Applicant to the Planning and Environment Court or Development Tribunal.

INFRASTRUCTURE CHARGES

In accordance with the Hinchinbrook Shire Adopted Infrastructure Charges Resolution CR1-2018, infrastructure charges are applicable to the proposed development as it will result in the creation of new allotments.

Details of the calculated infrastructure charges are as reflected hereunder.

APPLICABLE NETWORKS	
Network	Provided to Subject Land
Water supply	Yes
Sewerage	No
Transport	Yes
Stormwater	Yes
Public parks and community facilities	Yes

PROPOSED LAND USE						
Charge Category	Unit of Measure	Unit Quantity	Network Quantity	Adopted Rate	Network Adjustment	Applicable Charge
Residential – 1 or 2 bedroom dwelling unit	Per dwelling unit	3	4	\$3,600 per dwelling unit	1 (\$900)	\$10,800

CREDIT LAND USE						
Charge Category	Unit of Measure	Unit Quantity	Network Quantity	Adopted Rate	Network Adjustment	Applicable Credit
Residential – 1 or 2 bedroom dwelling unit	Per dwelling unit	1	4	\$3,600 per dwelling unit	1 (\$900)	\$3,600

LEVIED CHARGE		
Total Applicable Charge	Total Applicable Credit	Net Levied Charge
\$10,800	\$3,600	\$7,200